

**WORK SESSION:** A work session will be held at 6:30 p.m. in Conference Room #3, Second Floor, of the Farmington City Hall, 160 South Main Street. The work session will be to answer any questions the City Council may have on agenda items. The public is welcome to attend.

## **FARMINGTON CITY COUNCIL MEETING NOTICE AND AGENDA**

Notice is hereby given that the City Council of **Farmington City** will hold a regular City Council meeting on **Tuesday, September 19th, 2017, at 7:00 p.m.** The meeting will be held at the Farmington City Hall, 160 South Main Street, Farmington, Utah.

*Meetings of the City Council of Farmington City may be conducted via electronic means pursuant to Utah Code Ann. § 52-4-207, as amended. In such circumstances, contact will be established and maintained via electronic means and the meeting will be conducted pursuant to the Electronic Meetings Policy established by the City Council for electronic meetings.*

The agenda for the meeting shall be as follows:

### **CALL TO ORDER:**

7:00 Roll Call (Opening Comments/Invocation) Pledge of Allegiance

### **PRESENTATIONS:**

7:05 West Davis Corridor – Farmington City Residents

### **SUMMARY ACTION:**

7:20 Minute Motion Approving Summary Action List

1. Approval of Minutes from September 5, 2017
2. Nature Center Water Line Agreement
3. Traffic Ordinance Enacting Section 14-5-050.2 and Amending Section 14.5.060.1
4. Building Ordinance Amendment to Section 10-3-020

### **GOVERNING BODY REPORTS:**

7:25 City Manager Report

7:30 Mayor Talbot & City Council Reports

### **ADJOURN**

### **CLOSED SESSION**

Minute motion adjourning to closed session, if necessary, for reasons permitted by law.

DATED this 14th day of September, 2017.

**FARMINGTON CITY CORPORATION**

By: \_\_\_\_\_  
Holly Gadd, City Recorder

**\*PLEASE NOTE:** Times listed for each agenda item are estimates only and should not be construed to be binding on the City Council.

*In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during this meeting, should notify Holly Gadd, City Recorder, 451-2383 x 205, at least 24 hours prior to the meeting.*

## CITY COUNCIL AGENDA

For Council Meeting:  
September 19, 2017

### **S U B J E C T: Roll Call (Opening Comments/Invocation) Pledge of Allegiance**

It is requested that Mayor Talbot give the invocation to the meeting and  
it is requested that City Manager Dave Millheim lead the audience in the Pledge of Allegiance.

NOTE: Appointments must be scheduled 14 days prior to Council Meetings; discussion  
items should be submitted 7 days prior to Council meeting.

## CITY COUNCIL AGENDA

For Council Meeting:  
September 19, 2017

**S U B J E C T: West Davis Corridor – Farmington City Residents**

### ACTION TO BE CONSIDERED:

None.

### GENERAL INFORMATION:

Greg Daly and Spencer Moffat will be making this presentation.

NOTE: Appointments must be scheduled 14 days prior to Council Meetings; discussion items should be submitted 7 days prior to Council meeting.



# West Davis Corridor

## West Farmington



# Who we are

- Level-headed residents of West Farmington who acknowledge that the West Davis Corridor (WDC) is coming through our community
- We are looking for government partners to help make the WDC a win-win scenario for West Farmington and all of Davis County



# Why are we here?

- Issue:
  - WDC will be built through our community and will directly impact the residents and businesses in West Farmington
  - The current budget for WDC does not allow the highway aesthetics to be consistent with the nature, and expectations, of our community
- What we are asking:
  - Additional funding for aesthetics of WDC to mitigate the impacts of WDC on our community, and to build WDC in a manner that can attract business to Davis County

# WDC: The 0.75% Conundrum

- Total WDC budget: \$600MM (19 miles)
- 0.75% of WDC Budget that can be allocated to aesthetics\*
- Total aesthetics budget for WDC: \$4.5MM, or \$236,842 per mile
- Aesthetics money can be used for:
  - Landscaping, vegetation
  - Berming
  - Monumentation
  - Visual enhancement (does not include trail)

\* UDOT has capped “aesthetics” budget at 0.75% for UDOT projects; this is a “guideline” and not a rule.



# West Farmington: What does 0.75% get you?

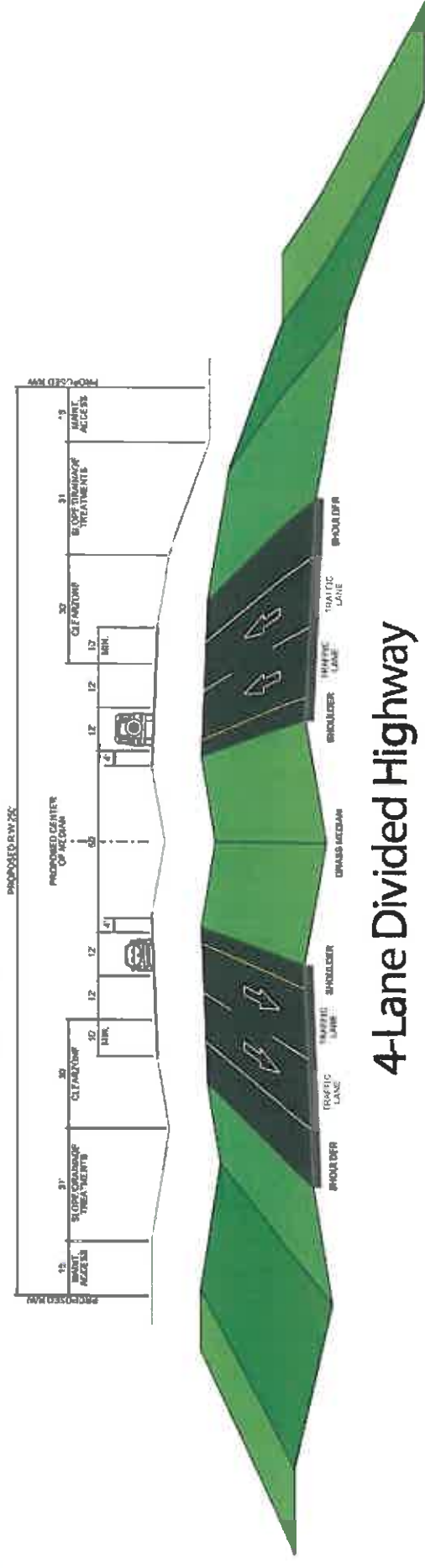
- WDC length in Farmington: 6.75 Miles (36% of WDC)
- Estimated aesthetics budget for Farmington\*: \$1.6MM
- 70' shoulder on east and west side of WDC in Farmington (4,952,640 sq ft of shoulder)
- **\$0.32 per sq ft for aesthetics in Farmington**

\*Cities are allocated funds by UDOT on a pro-rata basis based on mileage of WDC that falls within a City. City can instruct UDOT how to use funds.

# West Farmington: What does 0.75% get you?

## Typical Cross-Sections of West Davis Corridor Alternatives

From Farmington to 4800 South for Alternative A, and from Farmington to 5900 South for Alternative B, the alternatives are four-lane divided highways.



# West Farmington: What does 0.75% get you?

Item	Cost	Note
Clear/Grub & Rough Grade	\$0.10 / sq ft	No cut or fill
Trees	\$0.40 / sq ft	One tree per 1,400 sf, \$500 per drought resistant tree
Native Grass	\$0.18 / sq ft	Drought resistant grass
8' Berm - Import	\$0.34 / sq ft	8' tall x 15' wide, \$20 cu/yd
8' Berm - Shape	\$0.16 / sq ft	8' tall x 15' wide, \$10 cu/yd
8' Precast wall	\$1.27 / sq ft	8' wall, \$85 per lineal foot

\* Calculations based on a 7,000 square foot area - 100' x 70' section of shoulder

# West Farmington: What does 0.75% get you?

What do you get for \$0.32 / sq ft?

- Trees and native grass - \$0.68 /sq ft
- 8' Berm - \$0.60 / sq ft
- 8' Precast Wall - \$1.27 /sq ft

Take your pick:

- ½ of a berm
  - A few trees and a little grass
  - No wall
-

# West Farmington: What are we asking for?

Enhancement of the 70' shoulder on the east of WDC through Farmington, including drought resistant trees and native grass, berm, and pre-cast wall in selected areas



# West Farmington: What are we asking for?

Trees & Grass	\$.68 / sq ft	\$3,367,794	East and west side of WDC
8' Berm	\$.50 / sq ft	\$1,238,160	East side of WDC only
8' Precast Wall	\$1.27 / sq ft	\$783,481	East side - 25% of WDC thru Farmington
<b>TOTAL NEED</b>		<b>\$5,389,435</b>	
Current Funding		\$1,600,000	0.75% of WDC budget
<b>SHORTFALL</b>		<b>(\$3,789,435)</b>	

# West Farmington: What are we asking for?



Example of berm and native grass



Example of precast wall on berm

# West Farmington: The case for more than 0.75%

"Because of their significance and permanence, highway projects should integrate sound principles of design that **complement the surrounding landscape** and remain functional and **attractive for years to come.**"

- UDOT Aesthetics Guidelines, Nov. 5, 2014

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# West Farmington: The case for more than 0.75%



## **Reason 1: Proximity to Environmentally Sensitive Areas**

Yellow: Proposed UDOT Mitigation  
Properties (300+ acres)

Green: Farmington Bay Waterfowl  
Management Areas

Purple: Wetlands

# West Farmington: The case for more than 0.75%

## **Reason 1: Proximity to Environmentally Sensitive Areas**

- Residents are expecting WDC to look like Legacy Highway
- Current WDC alignment is possible due to undeveloped conservation ground that is preserved as part of conservation subdivisions
- Conservation Subdivisions: Over 838 homes in 3 separate conservation subdivisions about WDC in West Farmington
  - o Conservation subdivisions require dedication of significant areas of protected conservation land in order to preserve lifestyle and appeal to Farmington
  - o Three conservation subdivisions in Farmington placed over 500 acres of open space in protected conservation easements that cannot be developed

# West Farmington: The case for more than 0.75%

## **Reason 2: An Attractive WDC Can Help Business Development**

- Sandwiching West Farmington between I-15 and WDC could detract workers from relocating to Davis County (due to noise pollution, visual impacts, billboards, etc.) ...
- Or it could be an opportunity to help attract employers and employees (landscaped highway similar to Legacy Highway with proximity to area business parks is an asset)
- Enhanced WDC can allow Farmington to continue to attract high-paying, high quality employers to Davis County
  - e.g., Pluralsight, Vista Outdoors, Cabela's, Mercedes Benz, Station Park
- Attracting high-quality employers to Davis County can help reduce the number of miles traveled for work and help clean our air

# West Farmington: The case for more than 0.75%

## Reason 3: Maintain Quality of Life (LIVE, WORK, PLAY) in Farmington

- UDOT Aesthetic Guidelines: "Highways are among the most visible components of our communities and they impact us every day of our lives. **They influence our quality of life** as we commute to work, run errands, visit family and friends, and travel for recreation."
- Money Magazine named Farmington the **#14 best place to live in the entire nation** in 2013:
- "Farmington is best known for its **outdoorsy charm**: Sandwiched between the Wasatch Mountains and the Great Salt Lake, the town offers a huge 18,000-acre wildlife refuge and 115 miles of bike and hiking trails."  
(<http://time.com/money/collection-post/2791424/14-farmington-ut/>)

# West Farmington needs your help

In addition to securing additional funding for aesthetics we need help coordinating with UDOT to solidify “proposed” commitments that have been made by UDOT to date about the WDC

- Define quiet pavement - Legacy Highway Definition: Surface that is 4 decibels quieter at 110km than comparable surface
- Define dark sky lighting - Dark sky lights at intersections, no lighting along corridor, no lighted billboards, or electronic billboards
- Tweak WDC alignment at Ranch Road & Prairie View to increase distance from homes, move WDC further from Canyon Creek elementary

# Contact info

Spencer Moffat: [spencermoffat@gmail.com](mailto:spencermoffat@gmail.com) 801-300-0439

Candace Daly: [candacedaly.cjd@gmail.com](mailto:candacedaly.cjd@gmail.com) 801-599-8519

Greg Daly: [skidaly@gmail.com](mailto:skidaly@gmail.com) 801-200-6573

Bryan Bryner: [bryan.bryner@gmail.com](mailto:bryan.bryner@gmail.com) 801-450-9310

Greg Schow: [greg.schow@gmail.com](mailto:greg.schow@gmail.com) 801-888-6890

Nate Cook: [natecookbuilders@gmail.com](mailto:natecookbuilders@gmail.com) 801-897-7238

## CITY COUNCIL AGENDA

For Council Meeting:  
September 19, 2017

### **S U B J E C T: Minute Motion Approving Summary Action List**

1. Approval of Minutes from September 5, 2017
2. Nature Center Water Line Agreement
3. Traffic Ordinance Enacting Section 14-5-050.2 and Amending Section 14.5.060.1
4. Building Ordinance Amendment to Section 10-3-020

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## **FARMINGTON CITY COUNCIL MEETING**

September 5, 2017

### **WORK SESSION**

*Present: Mayor Jim Talbot; Councilmembers Brigham Mellor, Doug Anderson, John Bilton, Cory Ritz, Brett Anderson; City Manager Dave Millheim, City Development Director David Petersen, City Recorder Holly Gadd, and Recording Secretary Tarra McFadden*

### **CenterCal Presentation**

**Fred Bruning**, Chief Executive Officer, CenterCal Properties presented information about the current state of Station Park and an overview of plans for future development. He offered that Station Park is a gathering place, where people enjoy shopping, but it also a place where people can be entertained, eat meals together, and use services being offered by office tenants.

**Fred Bruning** discussed a number of potential tenants for existing spaces and those in development near Cabela's. CenterCal expects to increase profitability of existing space by bringing in new concept stores. He noted that a number of existing office space tenants want to increase square footage on the property, so there may be some shifting and relocation.

**Fred Bruning** suggested that the City to have high development standards and encouraged the continued development of a nexus which would sustain a strong employment base. This would lead to residents being able to live, work and play in Farmington.

### **REGULAR SESSION**

*Present: Mayor Jim Talbot; Councilmembers John Bilton, Doug Anderson, Cory Ritz, Brigham Mellor, Brett Anderson; City Manager Dave Millheim, City Development Director David Petersen, Youth City Councilmember Sam Marston, City Recorder Holly Gadd, and Recording Secretary Tarra McFadden*

### **CALL TO ORDER:**

Mayor Jim Talbot called the meeting to order at 7:06 p.m.

### **Roll Call (Opening Comments/Invocation/Pledge of Allegiance)**

The invocation was offered by Councilmember Cory Ritz and the Pledge of Allegiance was led by McKade Lots of Boy Scout Troop 904.

Sam Marston, Mayor of the Youth City Council introduced himself as a Senior at Viewmont with interests in health and sciences.

### **OLD BUSINESS:**

### **Resolutions Authorizing Condemnation of Real Property for the Expansion and Reconstruction of a Public Street**



**Jim Talbot** noted that this issue has been previously discussed at length and now the City is moving forward with proposed action. **Dave Millheim** stated that there are 80 properties affected by the street, curb and gutter construction project near 1100 West. The City owned the right of way on all but 17 properties. Most residents worked with the city to come to an agreement that allowed the City to move forward with the project. For the three remaining properties, the next step is to pursue condemnation proceedings - which is last resort action after months of negotiation. This does not preclude additional discussion with property owners, but the City needs to move forward so as not to cause construction delays.

***Motion:***

**Brigham Mellor** moved to approve the attached resolutions (1) Authorizing condemnation of real property more commonly known as the Sanchez, Jung and Makin parcels for the expansion and reconstruction of a public street, (2) Authorize the City Attorney to file said resolutions with the Court and take all required steps to complete the acquisition of the parcels described in the resolutions, (3) and Authorize the City Manager to pay up to the full appraised value of the affected parcels if any or all of the property owners wish to stop the condemnation process from this time forward.

**Doug Anderson** seconded the motion. A roll call vote was taken with all Councilmembers voting in the affirmative.

**SUMMARY ACTION:**

1. Approval of Minutes from August 15, 2017
2. Approval of Minutes from August 28, 2017

***Motion:***

**Brett Anderson** moved, with a second from **Brigham Mellor**, to approve summary action items 1 and 2 as contained in the staff report.

The motion was approved unanimously.

**GOVERNING BODY REPORTS:**

**City Manager Report**

**Dave Millheim** complimented Tarra McFadden regarding the quality and accuracy of the minutes, and thanked her for her contributions.

**Dave Millheim** shared a list of Top Public Companies in Utah and noted that Vista Outdoor, headquartered in Farmington, ranks as number 5.

**Dave Millheim** asked which Councilmembers would be able to attend the Economic Development Corporation of Utah Annual meeting to be held September 12. **Brigham Mellor** and **John Bilton** plan on attending.

**Dave Millheim** shared an overview of the City's response to the West Davis Corridor Environmental Impact Statement. The response was submitted in advance of the August 30 deadline. The City addressed Farmington-specific issues to the Federal Highway Administration. Mayor Talbot and the Councilmembers acknowledged the City Manager's efforts to craft a response.

**Holly Gadd** reminded the Council of the shoot scheduled for Monday, 9/25 at 5:30 at Davis Shooting Range with Chief **Wayne Hansen**.

### **Mayor Talbot & City Council Reports**

#### **Councilmember Cory Ritz**

Councilmember **Cory Ritz** noted that the Mosquito Abatement meeting will be held the next week. There have been a few confirmed cases of West Nile Virus in Utah, one resulting in the death of a Hillcrest High football coach. The Mosquito Abatement efforts will continue in full force until temperatures drop. The teams will be proactive about fogging and other mitigation endeavors.

#### **Councilmember Doug Anderson**

No updates to report.

#### **Councilmember Brett Anderson**

No updates to report.

#### **Councilmember Brigham Mellor**

Councilmember **Brigham Mellor** described the efforts to seek a scenic by-way designation for the West Davis Corridor. This would limit billboards and qualify the City to seek grants for additional aesthetic budget funds. Gary Uresk, Woods Cross City Administrator, has been instrumental in the efforts. The current thinking is to extend the scenic by-way designation for Legacy the additional 19 miles. Each impacted City would pass a resolution and submit a letter of support for review by a committee composed of gubernatorial appointees, State Department heads and private sector representatives. Eric Isom will work with Layton City Attorney, Gary Crane, to rewrite the law which would allow for an amendment to an existing by-way designation.

#### **Councilmember John Bilton**

Councilmember **John Bilton** provided an update related to the Central Davis Sewer District and potential impacts from construction of the West Davis Corridor. He described the process by which the CDSD disposes of bio-solids by composting the material, fertilizing hay, and then selling the hay to recoup some of the costs which keeps costs low for users. The CDSD has maintained a buffer around the location to minimize impacts on neighbors. Depending on the final alignment of the WDC and the 950 West / Shephard interchange the CDSD would likely discontinue the composting efforts which would drive costs up and residents would see sewer district fees increase.

### **Mayor Jim Talbot**

Mayor **Jim Talbot** reminded candidates that campaign signs are allowed to be posted beginning September 30. Mail-in ballots will be sent out on October 17. Signs can be in place until 3 days post-election. Candidates who want to update profile information for the website, need to have updates forwarded to appropriate staff by 5pm on Friday, September 8.

**Jim Talbot** has asked that Kent Hinckley and Connie Deianni extend their terms on the Planning Commission for 1 year and 2 years respectively. He also noted that an invitation was extended to Rulon Homer to fill a 4 year term beginning in January.

#### ***Motion:***

**John Bilton** moved, with a second from **Doug Anderson** to approve the extension of terms for Kent Hinckley and Connie Deianni and the invitation for Rulon Homer to serve on the Farmington City Planning Commission.

The motion was approved unanimously.

**Jim Talbot** noted he was seeking additional names for potential Planning Commissioners.

### **CLOSED SESSION**

#### ***Motion:***

At 7:57 pm, **Brigham Mellor** made a motion to go into a closed meeting for purpose of property acquisition. **Brett Anderson** seconded the motion which was unanimously approved.

#### **Sworn Statement**

I, **Jim Talbot**, Mayor of Farmington City, do hereby affirm that the items discussed in the closed meeting were as stated in the motion to go into closed session and that no other business was conducted while the Council was so convened in a closed meeting.

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**Jim Talbot, Mayor**

#### ***Motion:***

At 8:22 p.m., a motion to reconvene into an open meeting was made by **Brigham Mellor**. The motion was seconded by **Doug Anderson** which was unanimously approved.

### **ADJOURNMENT**

#### ***Motion:***

At 8:22 p.m., **Cory Ritz** moved to adjourn the meeting.

---

Holly Gadd, City Recorder

DRAFT



# FARMINGTON CITY

H. JAMES TALBOT  
MAYOR

BRETT ANDERSON  
DOUG ANDERSON  
JOHN BILTON  
BRIGHAM N. MELLOR  
CORY R. RITZ  
CITY COUNCIL

DAVE MILLHEIM  
CITY MANAGER

## City Council Staff Report

To: Honorable Mayor and City Council

From: David E. Petersen, Community Development Director

Date: September 19, 2017

SUBJECT: **NATURE CENTER WATER LINE AGREEMENT**

### RECOMMENDATION

Approve the enclosed agreement for the purpose of providing culinary water to the The George and Dolores Dore'Eccles Wildlife Education Center located at approximately 1900 West and 1125 South (south of Glover's Lane).

### BACKGROUND

The State's new nature center, now under construction, at the Farmington Bay Waterfowl Management Area, must have culinary water. The attached document is a three-way agreement between the State, County and City which contains terms and conditions whereby the State and County agree to construct/install and maintain the improvements and the City agrees to provide the water.

Respectively Submitted

David Petersen  
Community Development Director

Review and Concur

Dave Millheim  
City Manager

## **INTER-LOCAL WATER LINE AGREEMENT**

**THIS AGREEMENT** is made and entered into as of the \_\_\_\_ day of \_\_\_\_\_, 2017, by and between **FARMINGTON CITY**, a Utah municipal corporation, hereinafter referred to as the "City," **DAVIS COUNTY**, a political subdivision of the state of Utah, hereinafter referred to as the "County", and the **UTAH STATE DIVISION OF WILDLIFE RESOURCES**, hereinafter referred to as the "State".

### **RECITALS:**

**WHEREAS**, it is anticipated that the State will construct a Nature Center located at approximately 1900 West and 1125 South (Davis County Tax I.D. #08-081-0061) to meet the growing demand of visitors to its Farmington Bay Water Fowl Management Area; and

**WHEREAS**, a culinary water and related improvements (the "Improvements") are necessary for the State to establish a fully functional Nature Center, and the City is the only reliable source for culinary water in the area; and

**WHEREAS**, the currently adopted International Fire Code requires a fire hydrant(s) to protect institutional structures; and

**WHEREAS**, the State's Nature Center is located approximately 3,700 feet (or 0.7 miles) from the City's nearest culinary water trunk line; and

**WHEREAS**, the Nature Center and the anticipated extension of the City's culinary water system is located in unincorporated Davis County, outside the City limits, and approximately 2,100 feet of the said 3,700 foot total extension is located in County rights-of-way; and

**WHEREAS**, the County desires to work with the State and install that part of the Improvements located in its rights-of-way; and

**WHEREAS**, the State's efforts to establish the Nature Center will enhance tourism in the area and is economically beneficial to both the City and the County;

**NOW, THEREFORE**, in consideration of the mutual covenants contained herein and other good and valuable consideration, the receipt and sufficiency of which are acknowledged, the parties hereby agree as follows:

1. The above Recitals are hereby incorporated into this Agreement.
2. County hereby agrees to install and extend, at County's sole expense, the Improvements from the south end (or termination point) of the City's existing public culinary trunk line located at approximately 875 South 1525 West, thence south in the 1525 West r.o.w. to Glover's

Lane, and thence west in the Glover's Lane r.o.w. to and ending at a State owned access road to the Farmington Bay Water Fowl Management Area (which leads to the Nature Center), all as illustrated on **Exhibit "A"** attached hereto and by this reference made a part hereof. Thereafter the State is responsible to the extend the Improvements from Glover's Lane to the Nature Center.

Notwithstanding the forgoing, State will provide or do the following with respect to the Improvements: pipe for the project, bedding material from pit (County to install), saw cut asphalt (County to dig out and remove from site excess material, but State's contractor will accept said material at their pit—State's contractor will charge no dump fee to the County for doing so), and provide and place base and asphalt patching in a manner acceptable to County. Moreover, County proposes to make trench 3 feet in width instead of 4 feet to save on material costs, recommends that project engineer allow for trenching under irrigation line instead of boring, and agrees to provide native backfill, or material from Goose Egg Island, for the trench. Furthermore, the City will be on hand to consult with County regarding the connection to the trunk line and installing a hydrant at the end of the junction of Glovers Lane and the driveway, or entry way, to the State property.

3. State and/or the County shall prepare construction drawings for the Improvements consistent with City Standards, which drawings the City must stamp and approve prior to installation of the same. The City shall inspect and approve the installation of the Improvements to ensure such installation also meets City standards. The County shall be responsible for the inspection and approval of construction and/or replacement work related to road surfaces regarding public rights-of-way, which may include, among other things, asphalt patch, road base compaction and thickness specifications, and so forth.

4. The Improvements shall include a fire hydrant (or fire hydrants) at locations as approved by the Fire Marshall, constructed to industry standards and specifications.

5. Notwithstanding that the County is constructing, or causing to construct, a significant portion of the Improvements, the State will retain ownership and shall have full responsibility to maintain the Improvements, including Improvements to be installed in County rights-of-way starting at the City's existing culinary water line system.

6. State hereby agrees to grant a satisfactory easement to the City, and the County hereby grants permission to the City, for the purpose of reading the water meter, operating the hydrants, or hydrants, and performing periodic inspections of the fire flow system. The water meter shall be installed within ten (10) feet of the fire hydrant at a location mutually acceptable to the City and Owner.

7. State shall prepare and/or grade State's building site to accommodate fire flows from time to time which site will accept and allow water flows from the fire hydrant without creating erosion and damage. State hereby agrees to indemnify and hold the City and its officers, employees, agents and representatives harmless from any liability or damages of any kind or nature whatsoever caused as a result of or arising out of normal fire flow testing from the fire hydrants owned by State.

8. In the event the City approves another user to connect into the Improvements, the City thereafter shall own and maintain the Improvements from the existing City culinary system to the point of connection, and such Improvements shall become public; however, the State shall still be responsible for the remainder of the Improvements as set forth under the terms to this Agreement.

9. State shall pay all required fees to the City in a timely manner pertaining to the improvements including the cost of the meter and installation by the City, impact fees, and monthly water use fees.

10. This Agreement shall inure to the benefit of, and be binding upon, the parties hereto and their respective heirs, officers, representatives, agents, successors and assigns. This Agreement may be recorded in the office of the Davis County Recorder and shall be deemed to run with the State's property. A legal description of the State's property is attached hereto as **Exhibit "B"** and by this reference is made a part hereof. This Agreement may be amended only in writing signed by the parties hereto.

11. Upon execution of this Agreement and payment of all required fees, the City agrees to issue a notice to proceed to the State and County in accordance with City's standards.

**IN WITNESS WHEREOF**, the parties hereto have executed this Agreement by and through their duly-authorized representatives as of the day and year first hereinabove written.

**"CITY"**  
**FARMINGTON CITY**

By: \_\_\_\_\_  
Mayor

ATTEST:

\_\_\_\_\_  
City Recorder

**"COUNTY"**

By: \_\_\_\_\_  
Commission Chair



**“STATE”**

By: \_\_\_\_\_

### CITY ACKNOWLEDGMENT

STATE OF UTAH                    )  
  :ss.  
COUNTY OF DAVIS                )

On the \_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared before me H. JAMES TALBOT, who being duly sworn, did say that he is the Mayor of Farmington City, a municipal corporation of the State of Utah, and that the foregoing instrument was signed in behalf of the City by authority of its governing body and said H. JAMES TALBOT acknowledged to me that the City executed the same.

My Commission Expires:	_____ Notary Public Residing at:
_____	_____

### COUNTY ACKNOWLEDGMENT

STATE OF UTAH                    )  
  :ss.  
COUNTY OF DAVIS                )

On the \_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared before me P. BRET MILLBURN, who being duly sworn, did say that he is the Chair of Davis County Commission, a political subdivision of the state of Utah, and that the foregoing instrument was signed in behalf of the County by authority of its governing body and said P. BRET MILLBURN acknowledged to me that the County executed the same.

My Commission Expires:	_____ Notary Public Residing at:
_____	_____

STATE ACKNOWLEDGMENT

STATE OF UTAH )

COUNTY OF DAVIS )  
:ss.

On the \_\_\_\_ day of \_\_\_\_\_, 2017, personally appeared before me \_\_\_\_\_,  
who being duly sworn, did say that he is the \_\_\_\_\_, a \_\_\_\_\_  
\_\_\_\_\_, and that the foregoing instrument was signed in behalf of the  
State by authority of its governing body and said \_\_\_\_\_ acknowledged to me that  
the County executed the same.

My Commission Expires:

\_\_\_\_\_

\_\_\_\_\_  
Notary Public  
Residing at:

\_\_\_\_\_

**Exhibit "A"**  
The George and Dolores Dore'  
Eccles Wildlife Education Center





THE GEORGE S. AND  
DOLORES DORE ECCLES  
WILDLIFE EDUCATION CENTER  
1000 WEST CAMP LANE  
SALT LAKE CITY, UTAH 84143

METHOD



State of Utah



DAVID S. ECCLES  
REGISTERED PROFESSIONAL ENGINEER  
No. 10000  
Mechanical  
Exp. 12/31/98

PROJECT

The George S. and  
Dolores Dore Eccles  
Wildlife Education  
Center

1000 West Camp Lane,  
Salt Lake City, Utah 84143

DATE: 11/11/98  
BY: David S. Eccles  
PROJECT: 1000 West Camp Lane

DATE: 11/11/98

General  
Information

DATE: 11/11/98

E1002

PROJECT

# SHEET INDEX

GENERAL SHEETS	STRUCTURAL
1. GENERAL INFORMATION	1.1. Foundation
2. SITE PLAN	2.1. Foundation
3. FLOOR PLAN	3.1. Foundation
4. ELEVATION	4.1. Foundation
5. SECTION	5.1. Foundation
6. DETAIL	6.1. Foundation
7. MATERIAL	7.1. Foundation
8. FINISH	8.1. Foundation
9. MECHANICAL	9.1. Foundation
10. ELECTRICAL	10.1. Foundation
11. PLUMBING	11.1. Foundation
12. SEPTIC	12.1. Foundation
13. LANDSCAPE	13.1. Foundation
14. ARCHITECTURAL	14.1. Foundation

# MATERIAL LEGEND

REINFORCED CONCRETE	STEEL	WOOD	GLASS	OTHER
1. REINFORCED CONCRETE	2. STEEL	3. WOOD	4. GLASS	5. OTHER
6. REINFORCED CONCRETE	7. STEEL	8. WOOD	9. GLASS	10. OTHER
11. REINFORCED CONCRETE	12. STEEL	13. WOOD	14. GLASS	15. OTHER
16. REINFORCED CONCRETE	17. STEEL	18. WOOD	19. GLASS	20. OTHER
21. REINFORCED CONCRETE	22. STEEL	23. WOOD	24. GLASS	25. OTHER
26. REINFORCED CONCRETE	27. STEEL	28. WOOD	29. GLASS	30. OTHER
31. REINFORCED CONCRETE	32. STEEL	33. WOOD	34. GLASS	35. OTHER
36. REINFORCED CONCRETE	37. STEEL	38. WOOD	39. GLASS	40. OTHER
41. REINFORCED CONCRETE	42. STEEL	43. WOOD	44. GLASS	45. OTHER
46. REINFORCED CONCRETE	47. STEEL	48. WOOD	49. GLASS	50. OTHER

# ARCHITECTURAL SYMBOLS

1. ARCHITECTURAL SYMBOLS	2. ARCHITECTURAL SYMBOLS	3. ARCHITECTURAL SYMBOLS	4. ARCHITECTURAL SYMBOLS	5. ARCHITECTURAL SYMBOLS
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# ADD ALTERNATES

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The George S. and  
Dorcas Dore Eccles  
Wildlife Education  
Center

1700 West (down) 1 and,  
Farmington, Utah 84025

2. **Competition**  
 a. **For** the same resources  
 b. **Among** individuals of the same species  
 c. **Can** be intra specific or inter specific

## Special Inspections

**6103**

115-106014

Page 6 of 6Page 2 of 2

- Provides proof of insurance as a licensed professional-personnel employee to the State of Utah
- If financial information are provided by individuals other than the insured professional, they should not be submitted by the Rating Office.
- At the conclusion of each 12-month retrospective report year, it is submitted to the Rating Office using the following schedule:

Updated December 1, 2014.

620

1/20/2006

1478

2007





## method



**FORM APPROVAL STAMP**

The George S. and  
Dolores Dove Eccles  
Wildlife Education  
Center

1700 West Glenside Ave.  
Farmington Utah 84015

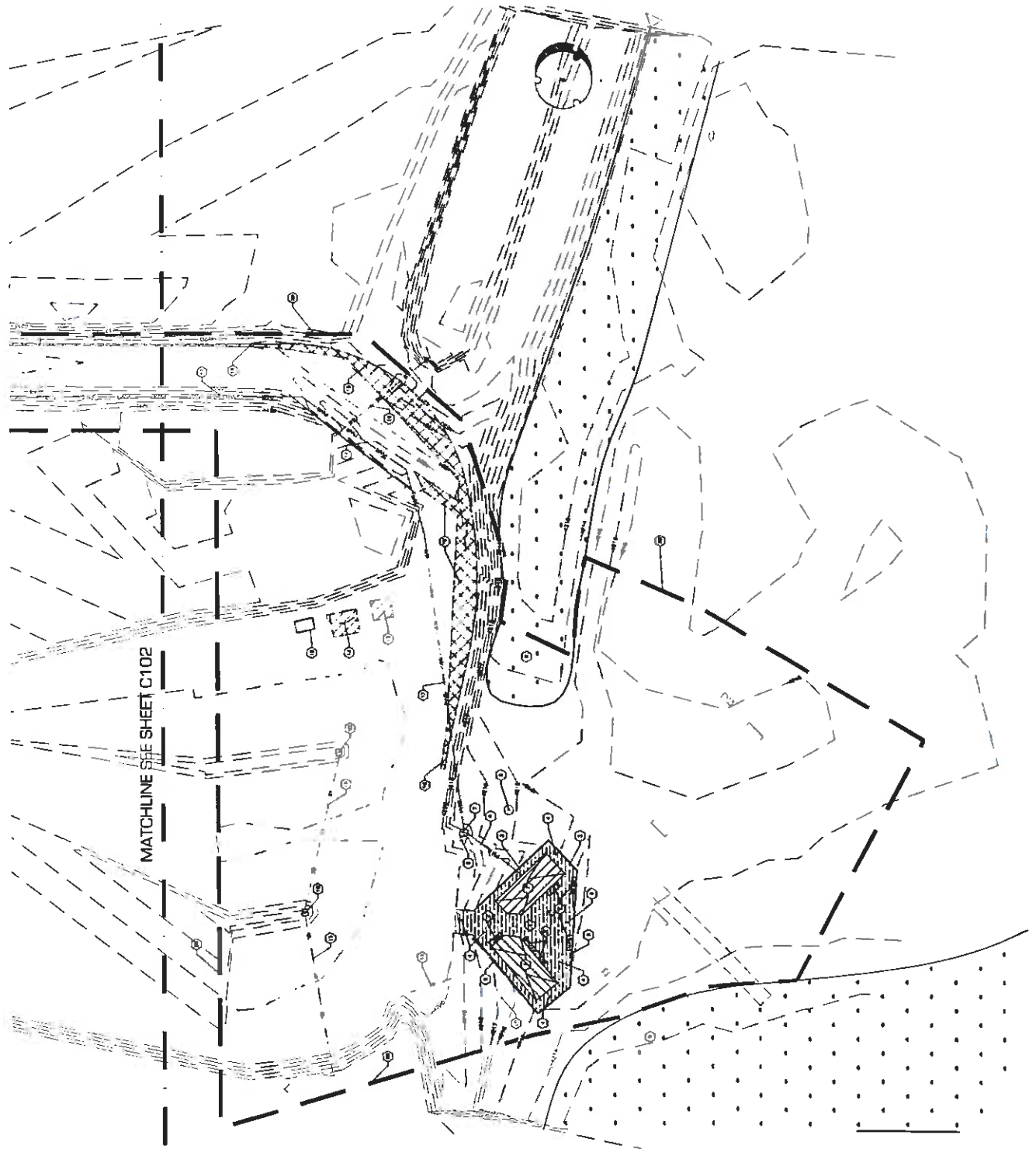
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## Demolition

6101

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**GENERAL NOTES**





UTAH  
DNR  
NATURAL RESOURCES

PERMIT SET

method  
method



State of Utah  
PERMIT SET - STATE



PROJECT APPROVAL STAMP

Project:  
The George S. and  
Dorcas Dore Eccles  
Wildlife Education  
Center

1700 West Glowers Lane,  
Farmington, Utah, 84505

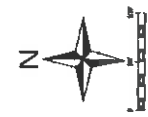
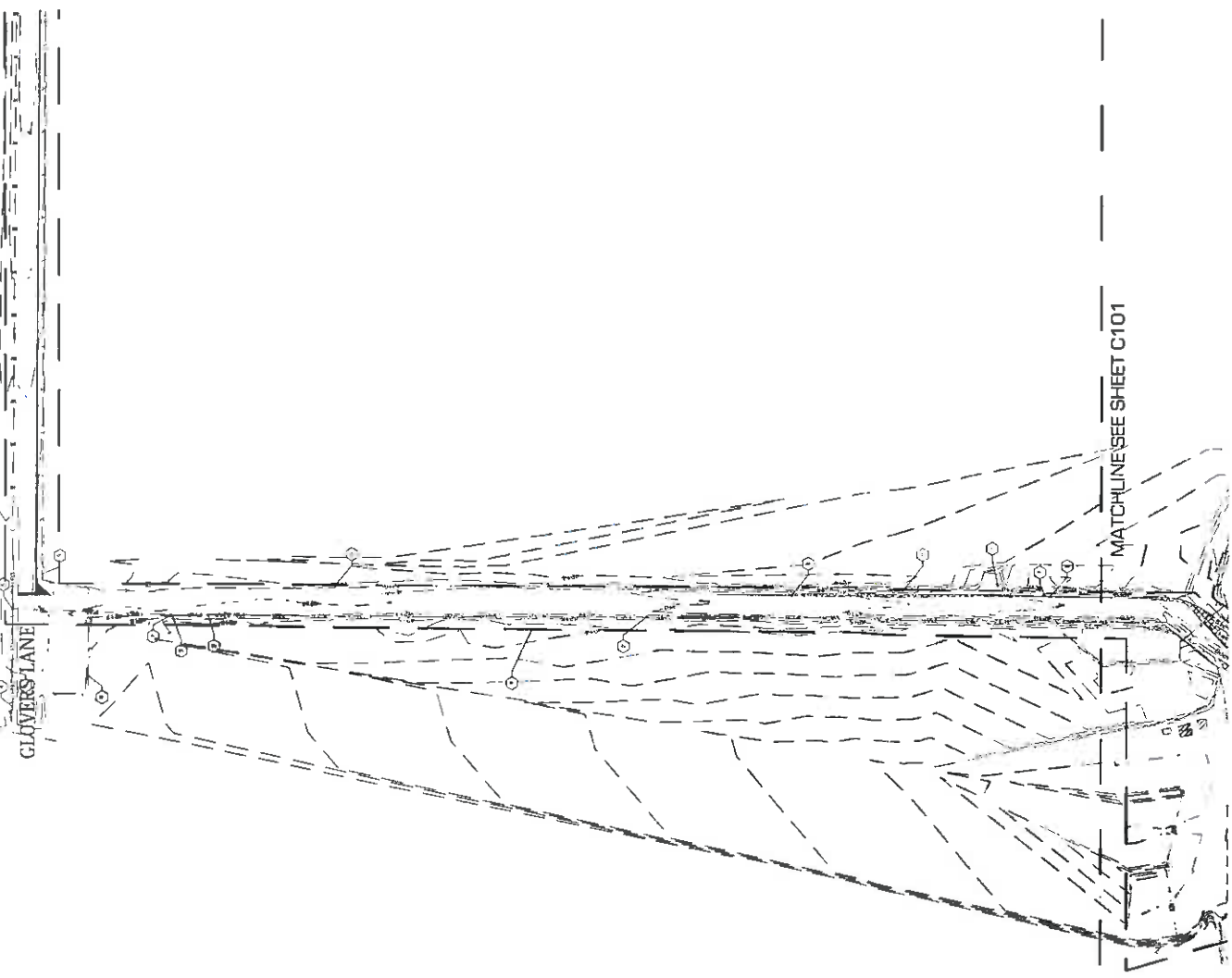
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BY  
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Demolition  
Plan

Sheet:  
C102

NOTES

- 1. EXISTING DEMOLITION PERMIT SET IN PROGRESS
- 2. EXISTING DEMOLITION PERMIT SET IN PROGRESS
- 3. EXISTING DEMOLITION PERMIT SET IN PROGRESS
- 4. EXISTING DEMOLITION PERMIT SET IN PROGRESS
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- 8. EXISTING DEMOLITION PERMIT SET IN PROGRESS
- 9. EXISTING DEMOLITION PERMIT SET IN PROGRESS
- 10. EXISTING DEMOLITION PERMIT SET IN PROGRESS



MATCHLINE SEE SHEET C104

- KEY NOTES**
1. EXISTING LOT LINES
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- GENERAL NOTES**
1. ALL IMPROVEMENTS TO BE MADE BY OWNER
  2. EXISTING LOT LINES
  3. EXISTING LOT LINES
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  18. EXISTING LOT LINES



Site Plan

C103



PERMIT SET

method



State of Utah

DATE PROJECT: 8/1/2014



DESIGN APPROVAL STAMP

PROJECT

The George S. and Dolores Dore Eccles Wildlife Education Center

1000 West Green Lane, Farmington, UT 84201

PROJECT NAME

DATE

BY

FOR

REVISION



UTAH  
DNR  
DEPARTMENT OF NATURAL RESOURCES

PERMIT SET

method  
UTAH  
DNR  
DEPARTMENT OF NATURAL RESOURCES



State of Utah



DREN APPROVAL STAMP

PROJECT

The George S. and  
Dolores Dorf Eccles  
Wildlife Education  
Center

UTAH WEST GLOVERS LANE  
Farmington, Utah, 84305

DATE  
DRAWN  
BY

DATE

Site Plan

C104

**SHEET ERY NOTES**

- 1. CONSTRUCTION LANE 10 FT WIDE
- 2. CONSTRUCTION LANE 10 FT WIDE
- 3. CONSTRUCTION LANE 10 FT WIDE
- 4. CONSTRUCTION LANE 10 FT WIDE
- 5. CONSTRUCTION LANE 10 FT WIDE

GLOVERS LANE



MATCHLINE SEE SHEET C103



PERMIT SET

method  
method



State of Utah



PROJECT: The George S. and  
Debra Dore Eccles  
Wildlife Education  
Center

PROJECT: The George S. and  
Debra Dore Eccles  
Wildlife Education  
Center

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Debra Dore Eccles  
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Center

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Debra Dore Eccles  
Wildlife Education  
Center

PROJECT: The George S. and  
Debra Dore Eccles  
Wildlife Education  
Center



Dimension Plan

C105

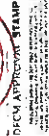


PERMIT SET

method of work



State of Utah



Project:

The George S. and  
Dorothy Dore Eccles  
Wildlife Education  
Center

1200 West Green Lane  
Farmington, Utah 84405

DATE: 11/20/13  
BY: [Signature]  
PROJECT: [Signature]

ONE: Grading Plan

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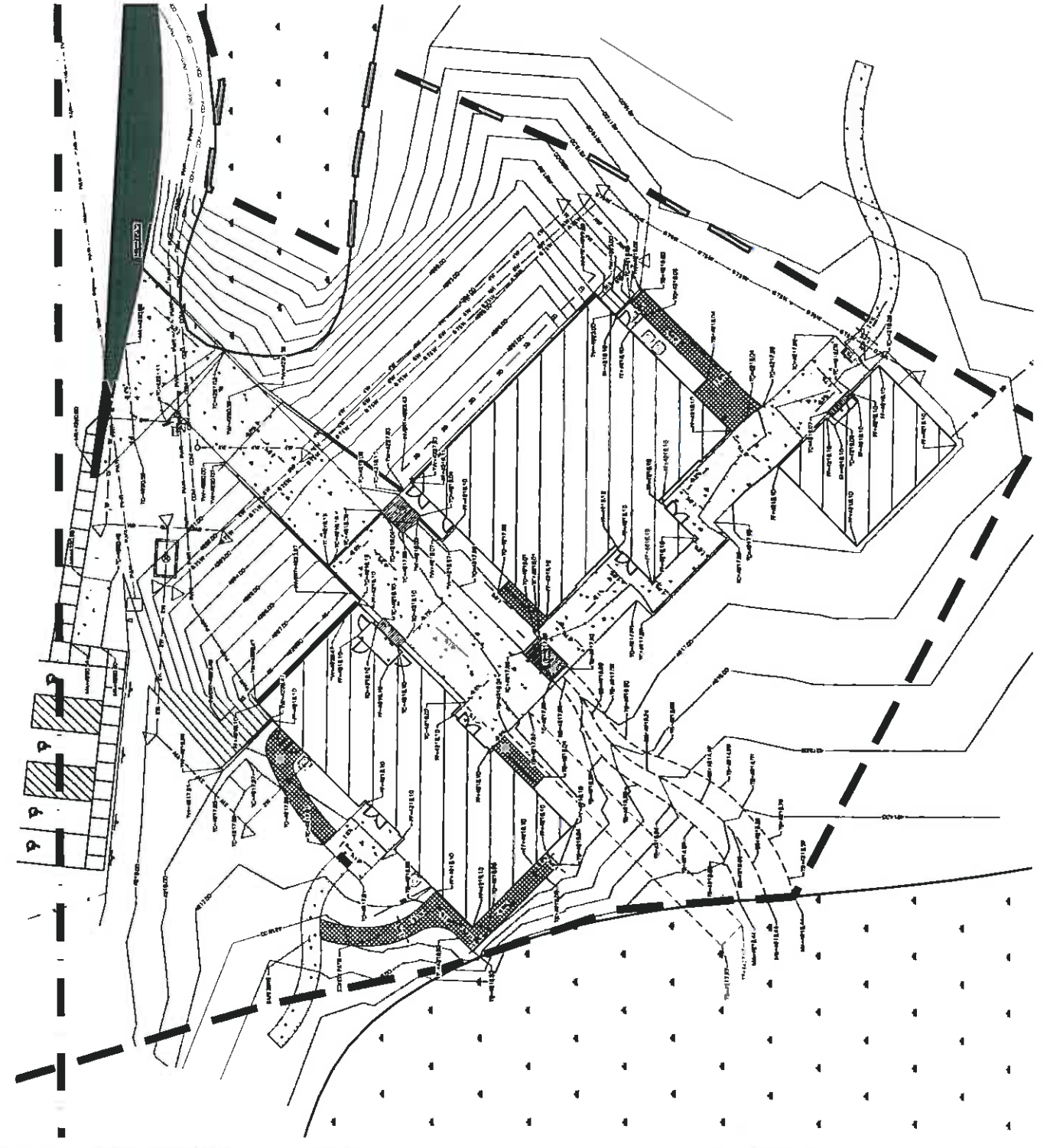
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**SHEET ABSTRACTS:**

- 1. TO BE USED FOR THE PRELIMINARY DESIGN OF THE PROJECT.
- 2. TO BE USED FOR THE PRELIMINARY DESIGN OF THE PROJECT.
- 3. TO BE USED FOR THE PRELIMINARY DESIGN OF THE PROJECT.
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- 10. TO BE USED FOR THE PRELIMINARY DESIGN OF THE PROJECT.

**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE UTAH PERMITTING ACT AND THE UTAH PERMITTING RULES AND REGULATIONS. ANY VIOLATION OF THE PERMITTING ACT OR RULES SHALL BE CAUSE FOR THE REVOCATION OF THE PERMIT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.







PERMIT SET

method



State of Utah



PROJECT

The George S. and  
Dolores Dore Eccles  
Wildlife Education  
Center

1900 West Green Lane  
Farmington, Utah, 84403

DATE: 10/20/2010  
BY: [Signature]

Grading Plan

sheet  
**C202**

**SHEET KEY NOTES**  
1. EXISTING GRADE  
2. PROPOSED GRADE  
3. EXISTING LOT CORNER  
4. PROPOSED LOT CORNER  
5. EXISTING EASEMENT  
6. PROPOSED EASEMENT  
7. EXISTING RIGHT-OF-WAY  
8. PROPOSED RIGHT-OF-WAY  
9. EXISTING FENCE  
10. PROPOSED FENCE  
11. EXISTING UTILITY  
12. PROPOSED UTILITY  
13. EXISTING ROAD  
14. PROPOSED ROAD  
15. EXISTING DRAINAGE  
16. PROPOSED DRAINAGE  
17. EXISTING CURB  
18. PROPOSED CURB  
19. EXISTING SIDEWALK  
20. PROPOSED SIDEWALK  
21. EXISTING DRIVEWAY  
22. PROPOSED DRIVEWAY  
23. EXISTING PAVEMENT  
24. PROPOSED PAVEMENT  
25. EXISTING ASPHALT  
26. PROPOSED ASPHALT  
27. EXISTING CONCRETE  
28. PROPOSED CONCRETE  
29. EXISTING BRICK  
30. PROPOSED BRICK  
31. EXISTING STONE  
32. PROPOSED STONE  
33. EXISTING SAND  
34. PROPOSED SAND  
35. EXISTING GRAVEL  
36. PROPOSED GRAVEL  
37. EXISTING DIRT  
38. PROPOSED DIRT  
39. EXISTING CEMENT  
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41. EXISTING PLASTER  
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57. EXISTING BRASS  
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59. EXISTING COPPER  
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61. EXISTING ALUMINUM  
62. PROPOSED ALUMINUM  
63. EXISTING STEEL  
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65. EXISTING IRON  
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67. EXISTING ZINC  
68. PROPOSED ZINC  
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71. EXISTING SILVER  
72. PROPOSED SILVER  
73. EXISTING GOLD  
74. PROPOSED GOLD  
75. EXISTING PLATINUM  
76. PROPOSED PLATINUM  
77. EXISTING DIAMOND  
78. PROPOSED DIAMOND  
79. EXISTING JEWELRY  
80. PROPOSED JEWELRY  
81. EXISTING CLOTHING  
82. PROPOSED CLOTHING  
83. EXISTING SHOES  
84. PROPOSED SHOES  
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86. PROPOSED ACCESSORIES  
87. EXISTING TOYS  
88. PROPOSED TOYS  
89. EXISTING ELECTRONICS  
90. PROPOSED ELECTRONICS  
91. EXISTING FURNITURE  
92. PROPOSED FURNITURE  
93. EXISTING APPLIANCES  
94. PROPOSED APPLIANCES  
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111. EXISTING SINKS  
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114. PROPOSED STOVES  
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117. EXISTING FREEZERS  
118. PROPOSED FREEZERS  
119. EXISTING FREEZING COMBOS  
120. PROPOSED FREEZING COMBOS  
121. EXISTING CUPBOARD  
122. PROPOSED CUPBOARD  
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127. EXISTING ISLANDS  
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133. EXISTING SEATING  
134. PROPOSED SEATING  
135. EXISTING STANDING  
136. PROPOSED STANDING  
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139. EXISTING WALLS  
140. PROPOSED WALLS  
141. EXISTING FLOORS  
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143. EXISTING CEILINGS  
144. PROPOSED CEILINGS  
145. EXISTING ROOFS  
146. PROPOSED ROOFS  
147. EXISTING FOUNDATIONS  
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157. EXISTING PATIOS  
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159. EXISTING DECKS  
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161. EXISTING STAIRS  
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169. EXISTING DRIVEWAYS  
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175. EXISTING UNLOADING  
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182. PROPOSED FACTORIES  
183. EXISTING OFFICES  
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843. EXISTING GALAXY CLUSTER  
844. PROPOSED GALAXY CLUSTER  
845. EXISTING SUPERNOVA  
846. PROPOSED SUPERNOVA  
847. EXISTING BLACK HOLE  
848. PROPOSED BLACK HOLE  
849. EXISTING WHITE DWARF  
850. PROPOSED WHITE DWARF  
851. EXISTING NEBULA  
852. PROPOSED NEBULA  
853. EXISTING COMET  
854. PROPOSED COMET  
855. EXISTING METEOR  
856. PROPOSED METEOR  
857. EXISTING ASTEROID  
858. PROPOSED ASTEROID  
859. EXISTING PLANETARY  
860. PROPOSED PLANETARY  
861. EXISTING SOLAR  
862. PROPOSED SOLAR  
863. EXISTING LUNAR  
864. PROPOSED LUNAR  
865. EXISTING STELLAR  
866. PROPOSED STELLAR  
867. EXISTING GALACTIC  
868. PROPOSED GALACTIC  
869. EXISTING COSMIC  
870. PROPOSED COSMIC  
871. EXISTING UNIVERSE  
872. PROPOSED UNIVERSE  
873. EXISTING COSMOS  
874. PROPOSED COSMOS  
875. EXISTING GALAXY  
876. PROPOSED GALAXY  
877. EXISTING SOLAR SYSTEM  
878. PROPOSED SOLAR SYSTEM  
879. EXISTING PLANET  
880. PROPOSED PLANET  
881. EXISTING MOON  
882. PROPOSED MOON  
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884. PROPOSED STAR  
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886. PROPOSED GALAXY CLUSTER  
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966. PROPOSED MOON  
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998. PROPOSED UNIVERSE  
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1000. PROPOSED COSMOS

CLOVERS LAND



MATCHLINE SEE SHEET C201



## method



~~INFORM APPROVAL STAMP~~

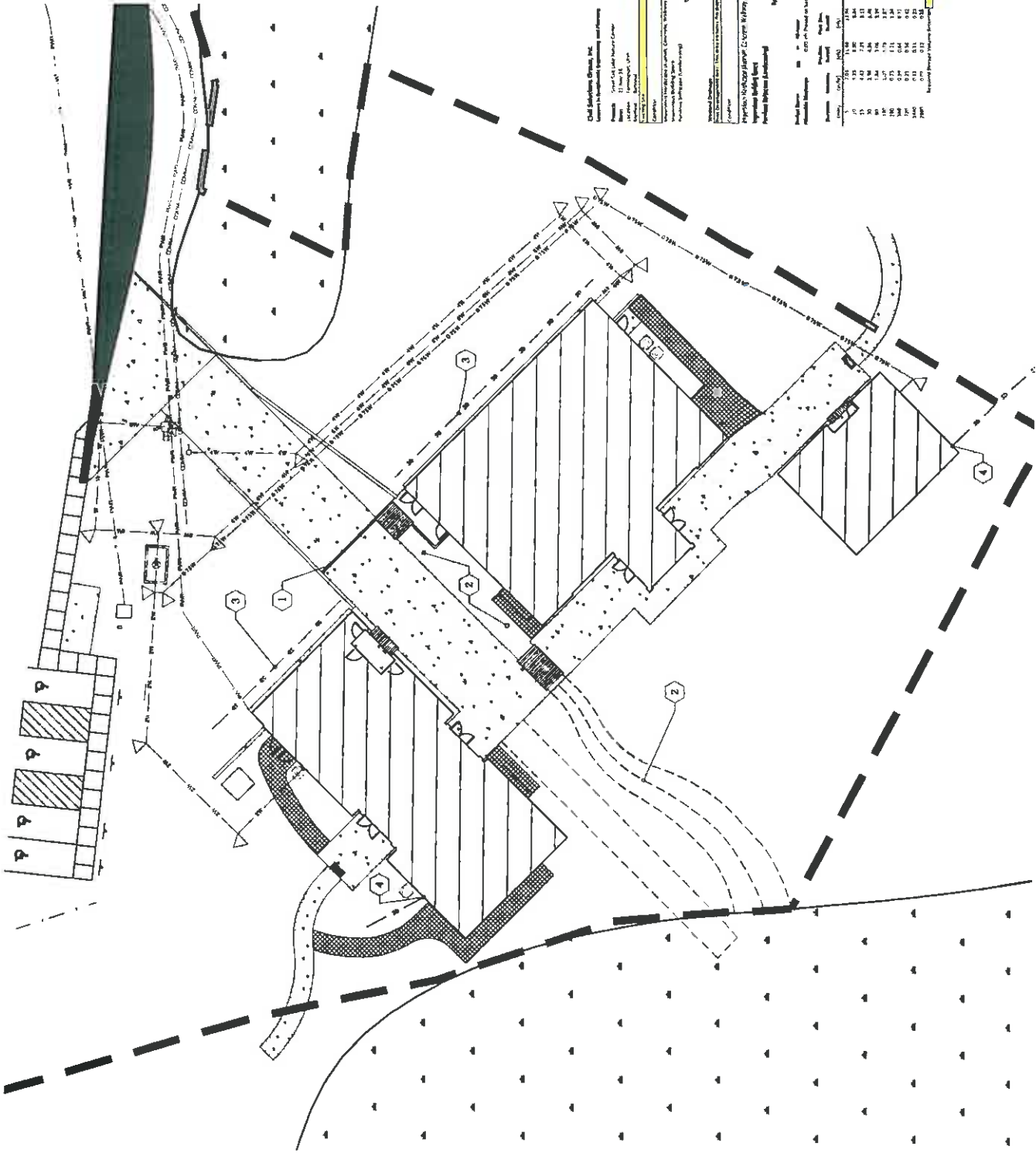
1720 West Governor Lane  
Washington, Utah 84015

12/15/2011 4:08  
From: j... 01/01/2012

**Abstract:**

## Storm Drain Plan

C203

[illegible]Child Subscribers: **Grassie, Inc.**  
 Located in Appleton, Wisconsin and Milwaukee[illegible][illegible][illegible]

Baseline measure	Time	SD (s)	SDA	Baseline measure	Post-test measure	SD (s)	SDA	Classified as improved	Classified as worse	Remained unchanged
10	0	0.25	0.04	10	0.25	0.04	0.07	0	0	10
20	0	0.25	0.04	20	0.25	0.04	0.07	0	0	20
30	0	0.25	0.04	30	0.25	0.04	0.07	0	0	30
40	0	0.25	0.04	40	0.25	0.04	0.07	0	0	40
50	0	0.25	0.04	50	0.25	0.04	0.07	0	0	50
60	0	0.25	0.04	60	0.25	0.04	0.07	0	0	60
70	0	0.25	0.04	70	0.25	0.04	0.07	0	0	70
80	0	0.25	0.04	80	0.25	0.04	0.07	0	0	80
90	0	0.25	0.04	90	0.25	0.04	0.07	0	0	90
100	0	0.25	0.04	100	0.25	0.04	0.07	0	0	100
110	0	0.25	0.04	110	0.25	0.04	0.07	0	0	110
120	0	0.25	0.04	120	0.25	0.04	0.07	0	0	120
130	0	0.25	0.04	130	0.25	0.04	0.07	0	0	130
140	0	0.25	0.04	140	0.25	0.04	0.07	0	0	140
150	0	0.25	0.04	150	0.25	0.04	0.07	0	0	150
160	0	0.25	0.04	160	0.25	0.04	0.07	0	0	160
170	0	0.25	0.04	170	0.25	0.04	0.07	0	0	170
180	0	0.25	0.04	180	0.25	0.04	0.07	0	0	180
190	0	0.25	0.04	190	0.25	0.04	0.07	0	0	190
200	0	0.25	0.04	200	0.25	0.04	0.07	0	0	200



MATCHLINE SEE SHEET C205

1. SHEET NOTES

2. SPECIAL AND/OR SEE SHEET FOR STANDARD DETAILS OF THIS PROJECT



PERMIT SET

method  
method



State of Utah

DESIGN PROJECT & DATE



DESIGN APPROVAL STAMP

PROJECT

The George S. and  
Dorothy D. Eccles  
Wildlife Education  
Center

David Hargrave, Inc.  
Farmington, Utah, 84403

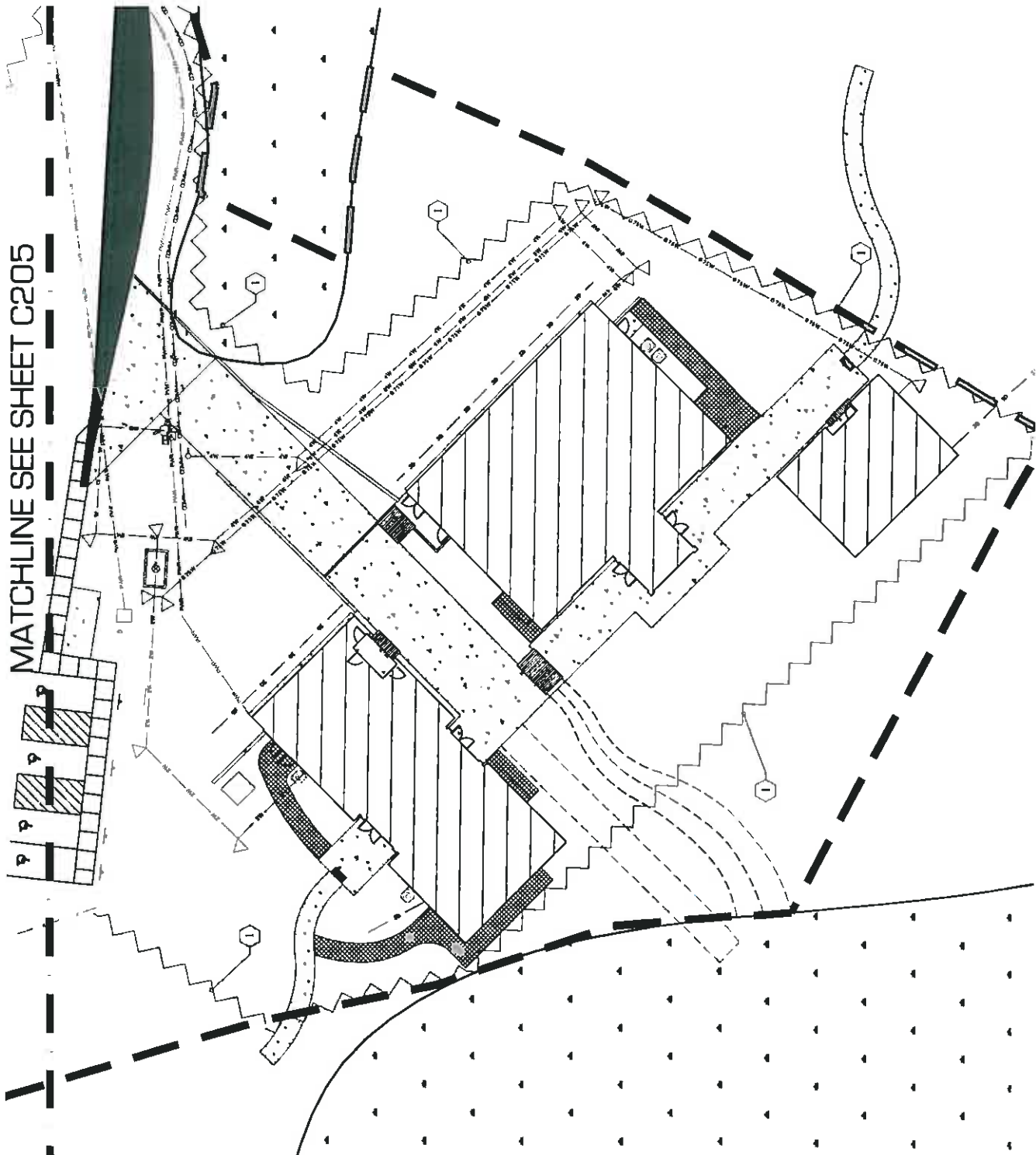
DATE: 04/20/04  
BY: D.L.H.

REVISIONS:

001: Erosion Control  
Plan

SHEET

C204





PERMIT SET

method  
method



State of Utah



DESIGN APPROVAL STAMP

DESIGNER

The George S. and  
Dolores Dorr Eccles  
Wildlife Education  
Center

1200 West County, 2nd  
Farmington, Utah, 84403

DATE

BY

REVISIONS

DATE  
EROSION  
CONTROL PLAN

SHEET

C205

NOTES

- 1. SEE SHEET C204 FOR EROSION CONTROL PLAN FOR THE  
2. SEE SHEET C204 FOR EROSION CONTROL PLAN FOR THE  
3. SEE SHEET C204 FOR EROSION CONTROL PLAN FOR THE

CLOVERS LANE



MATCHLINE SEE SHEET C204



**PERMIT SET**

**method studio**  
for communication  
and design



State of Utah



THE UNIVERSITY OF CHICAGO



IFCM APPROVAL STAMP

1

The George S. and  
Dolores Doré Eccles  
Wildlife Education  
Center

1,000 West 34th Street  
Cambridge, MA 02142

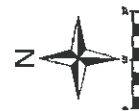
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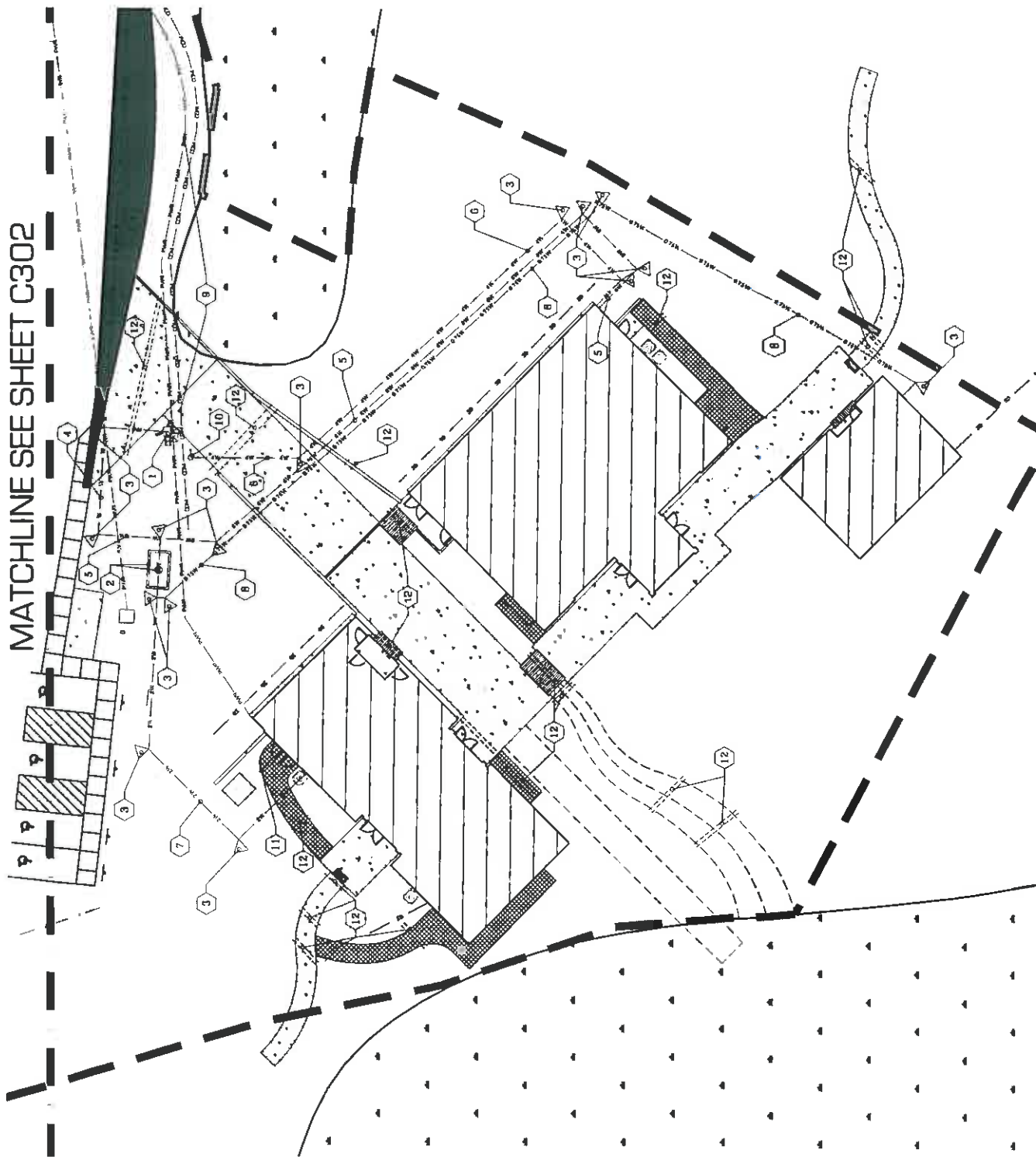
## Utility Plan

**Book**

6301



MATCHLINE SEE SHEET C302



## 1 SHEET KEY NOTES

- [illegible]



PERMIT SET

method



State of Utah



PROJECT APPROVAL STAMP

Project: The George S. and Dolores Dore Eccles Wildlife Education Center

1300 West Canyon Lane

Project: 1300 West Canyon Lane

Utility Plan

Sheet: C302

SHORT KEY NOTES

- 1. ALL UTILITIES SHOWN ARE BASED ON FIELD SURVEY AND RECORDS.
- 2. UTILITIES SHOWN ARE NOT TO SCALE.
- 3. UTILITIES SHOWN ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE LOCATION OR DEPTH OF ANY UTILITIES.
- 4. UTILITIES SHOWN ARE NOT TO BE CONSIDERED AS A GUARANTEE OF THE LOCATION OR DEPTH OF ANY UTILITIES.

CLOVERS LANE

MATCHLINE SEE SHEET C301

MATCHLINE SEE SHEET C301





PERMIT SET

method of utility



State of Utah

DESIGN PROJECT & LOCATION



DESIGN APPROVAL STAMP

PROJECT

The George S. and  
Dolores Dore Eccles  
Wildlife Education  
Center

200 West Capitol Line  
Farmington, UTAH 84303

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

BY

APPROVED

DATE

10/1/2014

Standard  
Details

sheet

C501

ADA DETECTABLE WARNING SURFACE

C501

FRENCH DRAIN

C501

STANDARD DUTY  
ASPHALT PAVEMENT

C501

4" RIBBON CURB

C501

THURST BLOCK DETAILS

C501

PIPE TRENCH DETAIL

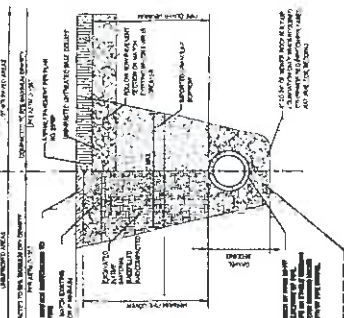
C501

ASPHALT TRENCH  
REPLACEMENT DETAIL

C501

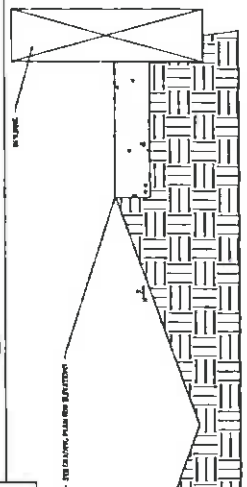
4" WATER METER

C501



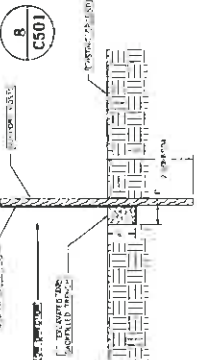
STORM DRAIN TRENCH DETAIL

C501



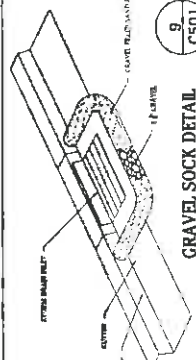
SWALE DETAIL

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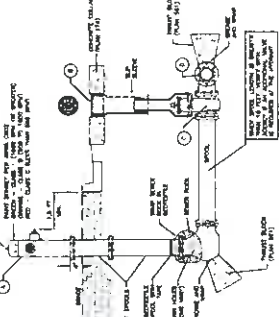
SILT FENCE DETAIL

C501



GRAVEL SOCK DETAIL

C501

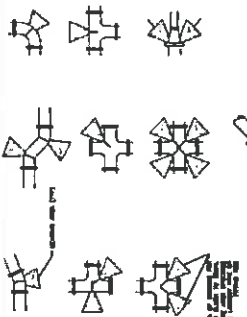


FIRE HYDRANT DETAIL

C501

Legend

Symbol	Description
[Symbol]	1. 1/2" NPT x 6" Long
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[Symbol]	11. 1/2" NPT x 6" Long
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[Symbol]	13. 1/2" NPT x 6" Long
[Symbol]	14. 1/2" NPT x 6" Long
[Symbol]	15. 1/2" NPT x 6" Long
[Symbol]	16. 1/2" NPT x 6" Long
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[Symbol]	18. 1/2" NPT x 6" Long
[Symbol]	19. 1/2" NPT x 6" Long
[Symbol]	20. 1/2" NPT x 6" Long



THURST BLOCK DETAILS

C501

Thrust Block Details

Block Size	Block Weight	Block Volume	Block Area	Block Perimeter
12" x 12" x 12"	10.0 lbs	0.014 cu yd	1.44 sq ft	36.0 in
12" x 12" x 18"	15.0 lbs	0.021 cu yd	1.44 sq ft	48.0 in
12" x 18" x 18"	20.0 lbs	0.028 cu yd	2.16 sq ft	54.0 in
18" x 18" x 18"	30.0 lbs	0.042 cu yd	3.24 sq ft	72.0 in
12" x 12" x 24"	20.0 lbs	0.028 cu yd	1.44 sq ft	48.0 in
12" x 18" x 24"	30.0 lbs	0.042 cu yd	2.16 sq ft	54.0 in
18" x 18" x 24"	40.0 lbs	0.056 cu yd	3.24 sq ft	72.0 in
24" x 24" x 24"	60.0 lbs	0.084 cu yd	5.76 sq ft	96.0 in

- Notes:
1. Thrust blocks are used to prevent pipe movement during trenching operations.
  2. Thrust blocks should be placed at least 10 feet apart.
  3. Thrust blocks should be placed at least 10 feet from the trench walls.
  4. Thrust blocks should be placed at least 10 feet from the trench bottom.
  5. Thrust blocks should be placed at least 10 feet from the trench top.
  6. Thrust blocks should be placed at least 10 feet from the trench side.
  7. Thrust blocks should be placed at least 10 feet from the trench end.
  8. Thrust blocks should be placed at least 10 feet from the trench corner.
  9. Thrust blocks should be placed at least 10 feet from the trench joint.
  10. Thrust blocks should be placed at least 10 feet from the trench manhole.

- Specifications:
1. Thrust blocks shall be made of concrete or masonry.
  2. Thrust blocks shall be at least 12 inches thick.
  3. Thrust blocks shall be at least 12 inches wide.
  4. Thrust blocks shall be at least 12 inches high.
  5. Thrust blocks shall be at least 12 inches long.
  6. Thrust blocks shall be at least 12 inches deep.
  7. Thrust blocks shall be at least 12 inches broad.
  8. Thrust blocks shall be at least 12 inches tall.
  9. Thrust blocks shall be at least 12 inches wide.
  10. Thrust blocks shall be at least 12 inches high.

- Materials:
1. Thrust blocks shall be made of concrete or masonry.
  2. Thrust blocks shall be at least 12 inches thick.
  3. Thrust blocks shall be at least 12 inches wide.
  4. Thrust blocks shall be at least 12 inches high.
  5. Thrust blocks shall be at least 12 inches long.
  6. Thrust blocks shall be at least 12 inches deep.
  7. Thrust blocks shall be at least 12 inches broad.
  8. Thrust blocks shall be at least 12 inches tall.
  9. Thrust blocks shall be at least 12 inches wide.
  10. Thrust blocks shall be at least 12 inches high.



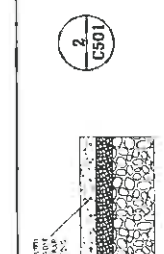
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C501



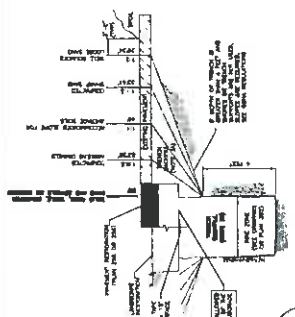
STANDARD DUTY  
CONCRETE PAVEMENT

C501



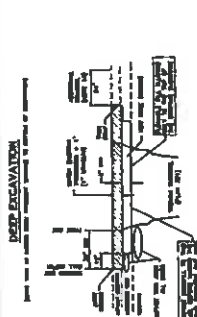
HEAVY DUTY  
CONCRETE PAVEMENT

C501



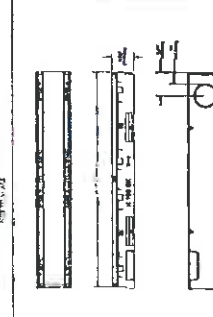
PIPE TRENCH DETAIL

C501



ASPHALT TRENCH  
REPLACEMENT DETAIL

C501



4" WATER METER

C501



PERMIT SET

method

method



State of Utah

State of Utah



Department of Natural Resources

Project: The George S. and Dolores Dore Eccles Wildlife Education Center

1525 West Grovers Lane, Farmington, Utah 84401

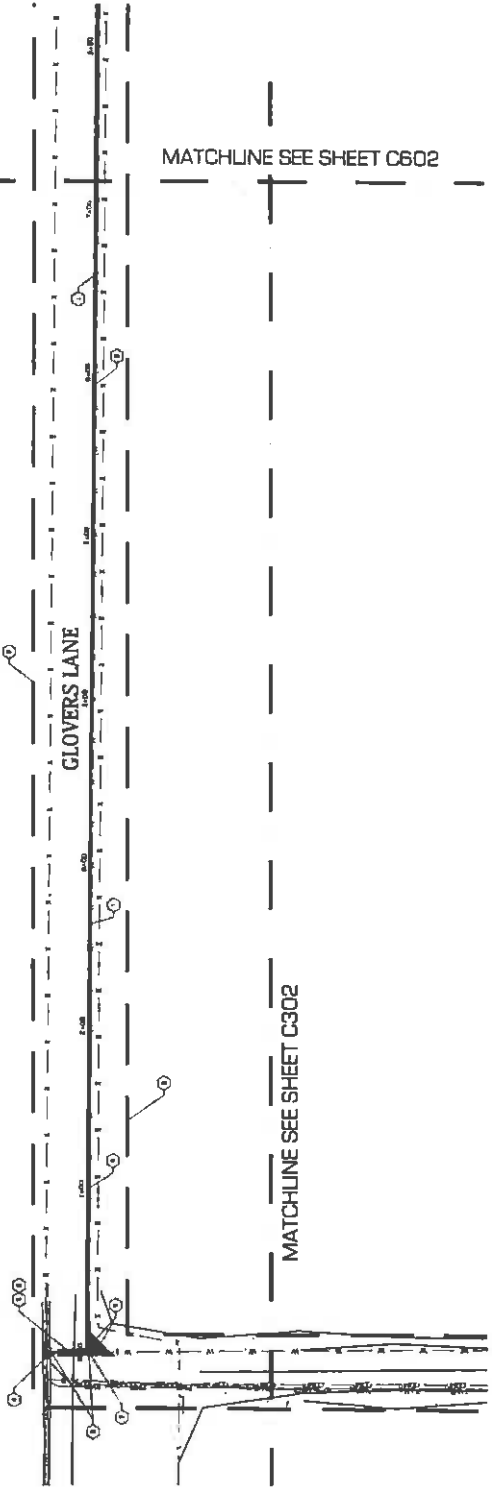
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OFF-SITE Utility Plan

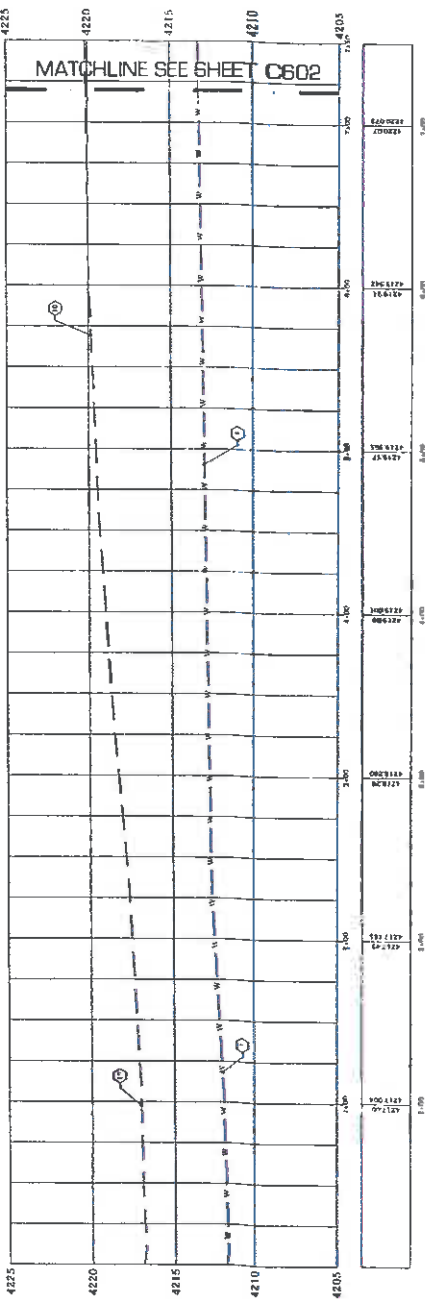
Sheet: C601

NOTES

- 1. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY.
- 2. THE LOCATION OF UTILITIES IS BASED ON THE LOCATION OF THE CENTERLINE OF THE ROAD.
- 3. THE LOCATION OF UTILITIES IS BASED ON THE LOCATION OF THE CENTERLINE OF THE ROAD.
- 4. THE LOCATION OF UTILITIES IS BASED ON THE LOCATION OF THE CENTERLINE OF THE ROAD.
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Grovers Ln - 1525 W PROFILE





PERMIT SET

**method** methodology



State of Utah

[illegible]

~~STAMP~~

**Subject:**

The George S. and  
Dorores Doni Eccles  
Wildlife Education  
Center

1700 West Glenside Lane,  
Farmington, Utah, 84415

Case No. 97-00000  
Date Filed: 10/18/00

## the OFF-SITE Utility Plan



6602



**STUDY KEY NOTES**

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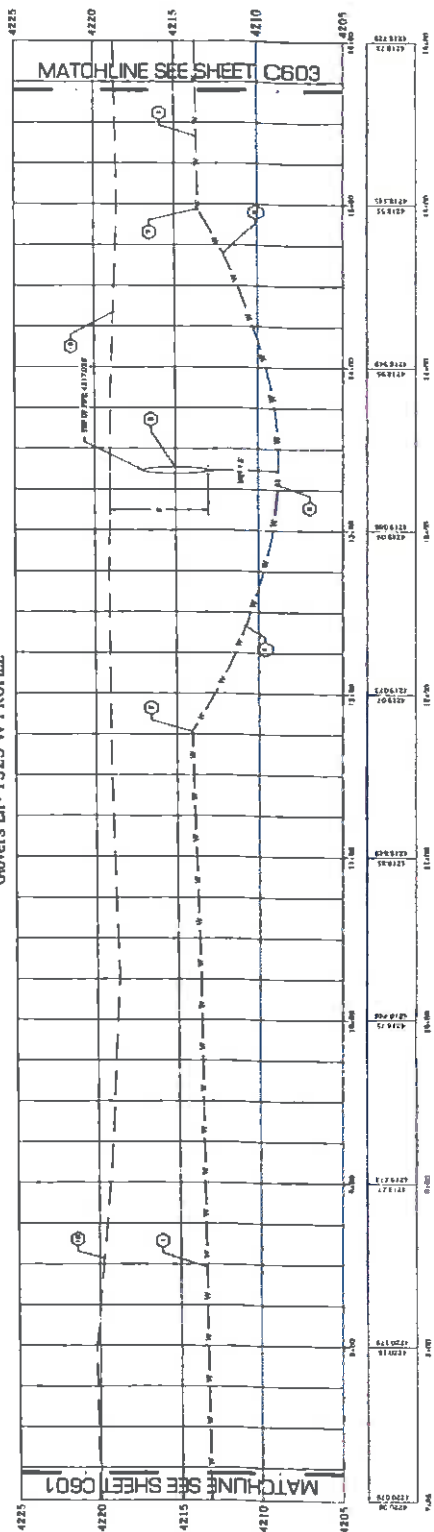
MATCHLINE SEE SHEET C603

MATCHLINE SEE SHEET C601

**Glovers Ln. 1525 W PROFILE**

MATCHLINE SEE SHEET C603

MATCHLINE SEE SHEET C601







PERMIT SET

method



State of Utah



PROJECT

The George S. and Dolores Dore Eccles Wildlife Education Center

1200 West Grovers Lane, Farmington, Utah, 84201

PROJECT NO. 0603

OFF-SITE UTILITY Plan

6603

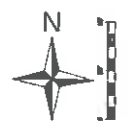
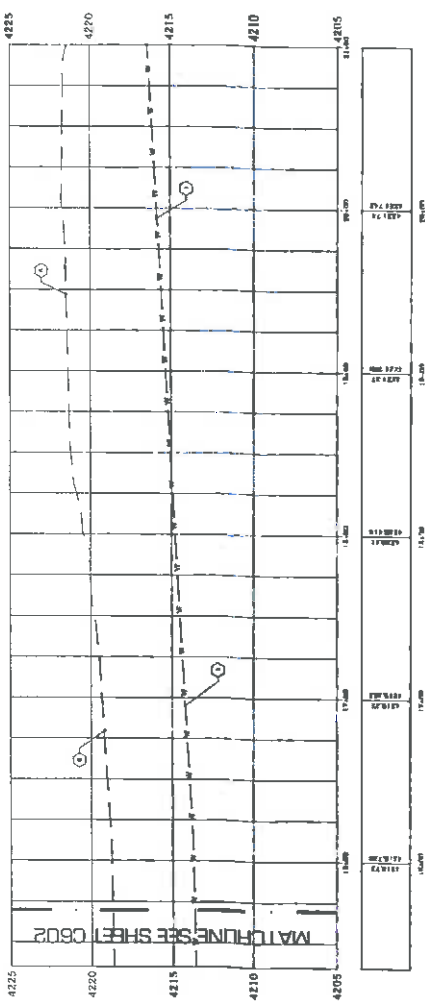
① SHEET KEY NOTES

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- 9. SEE PERMIT SET SHEET NO. 0603
- 10. SEE PERMIT SET SHEET NO. 0603

MATCHLINE SEE SHEET C602

1525 WEST

Grovers Ln - 1525 W PROFILE









method

method



State of Utah

State of Utah



David A. Smith

Professional Engineer

Project

The George S and  
Dorcas Dore Eccles  
Wildlife Education  
Center

100 West Ogden Lane  
Farmington, Utah 84403

Sheet

100

100

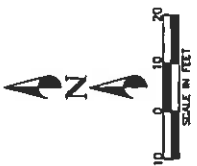
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Septic Sewer  
Plan

Sheet

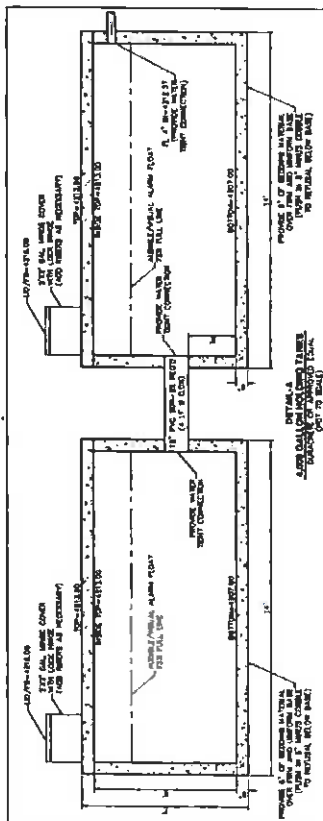
SS101

Project SS1



NOTE: ALL EXISTING AND NEW CONSTRUCTION TO COMPLY WITH  
UTAH STATE PLUMBING CODE, 2001 EDITION.

1. ALL EXISTING AND NEW CONSTRUCTION TO COMPLY WITH  
UTAH STATE PLUMBING CODE, 2001 EDITION.



**Exhibit "B"**  
**Legal Description**

A PARCEL OF LAND IN FEE TITLE FOR WETLANDS MITIGATION, LOC IN SEC 27-T3N-R1W, SLM, MORE PARTLY DESC AS FOLLOWS: BEG AT THE SE COR OF SD SEC 27; & RUN TH DUE W 610.50 FT TO THE MEANDER LINE OF THE GREAT SALT LAKE; TH ALG SD MEANDER LINE THE FOLLOWING 3 COURSES & DISTANCES: N 36^00' W 1056.00 FT, N 08^00' E 924.00 FT, DUE N 858.00 FT; TH LEAVING SD MEANDER LINE; & RUN S 89^44'44" E 574.91 FT; TH N 11^52'56" W 626.12 FT; TH N 2^02'47" W 167.88 FT; TH N 89^27'22" E 658.74 FT TO THE SEC LINE; TH ALG THE SEC LINE S 0^15'24" E 680.20 FT TO THE E 1/4 COR OF SEC 27 (COR NOT IN PLACE); TH S 0^01'04" E 122.86 FT TO THE S LINE OF GLOVER LANE; TH S 89^37'09" E 723.62 FT ALG SD LANE; TH S 0^01'04" E 660.00 FT; TH S 89^37'09" E 2746.01 FT; TH S 01^15'51" W 1765.80 FT; TH N 89^31'53" E 330.10 FT; TH S 1^15'51" W 66.00 FT; TH S 89^31'53" W 3758.75 FT TO THE SEC LINE; TH S 0^01'04" E 66.00 FT TO THE POB. CONT. 233.59 ACRES



# FARMINGTON CITY

H. JAMES TALBOT  
MAYOR

BRETT ANDERSON  
DOUG ANDERSON  
JOHN BILTON  
BRIGHAM MELLOR  
CORY RITZ  
CITY COUNCIL

DAVE MILLHEIM  
CITY MANAGER

## City Council Staff Report

To: Honorable Mayor and City Council

From: Eric Anderson, City Planner

Date: September 19, 2017

SUBJECT: **Traffic Ordinance Enacting Section 14-5-050.2 and Amending Section 14.5.060.1**  
Applicant: **Farmington City**

### RECOMMENDATION

Move that the City Council approve the enclosed enabling ordinance enacting Section 14-5-050.2 and amending Section 14-5-060.1 of the Traffic Ordinance.

#### Findings:

1. The current ordinance creates a safety hazard whereby oversized vehicles parked on the street in angled parking impede the ability of cars parked next to them to see on-coming traffic as one pulls out of an adjacent parking stall.
2. The proposed amendment promotes the purpose and intent of the City's General Plan by furthering the health, safety, and welfare of the public.

### BACKGROUND

Recently, a code enforcement issue has come up involving the public on-street parking on 100 East and west of the Fire Station that services the Davis School District building. There has been an oversized van from a nearby resident that has been using one of the stalls and parking overnight, which blocks the vision of any vehicle parked next to it, that is pulling out of the stall into on-coming traffic; this creates a safety hazard for the car pulling out and any on-coming vehicle. Additionally, this new size restriction would prevent people taking advantage of on-street parking by leaving large vehicles, trailers, RVs, tractors, and semis on the road for long periods of time. Staff also noticed that in this section of the code, the qualifying word "commercial" is used to describe large vehicles and prohibitions related thereto; this qualifier is far too limiting and may make enforcement difficult to administer. Staff is recommending a section of code and a text amendment as follows:

#### **14-5-050.1: PARKING IN CITY PARKS:**

Parking areas in city parks are intended for use by persons using the city park facilities. No person shall park a vehicle, boat, trailer, semi-truck or trailer, or other conveyance, within city park parking areas for private storage purposes, or for any other purpose inconsistent with city park use, such as parking for

car pools, park and rides or overflow residential parking, except by special use permit issued by the chief of police or his designee. (Ord. 2004-75, 12-8-2004)

**14-5-050.2: PARKING IN ANGLED SPACES ON STREET:**

No person shall park a vehicle, boat, trailer, semi-truck and/or trailer, recreational vehicle, or other conveyance in angled parking spaces on a public street in excess of seven (7) feet in height and twenty-one (21) feet in length.

**14-5-060: PARKING IN CITY CEMETERY:**

Cemetery parking areas are intended for use by persons attending services within the cemetery or visiting gravesites, or for any other legitimate cemetery patron or maintenance use. No person shall park a vehicle, boat, trailer or other conveyance within the boundaries of the Farmington City Cemetery for private storage purposes, including, but not limited to, semi-trucks and trailers, or for any other purpose inconsistent with cemetery use, such as parking for car pools, park and rides or overflow residential parking, except by special permit issued by the chief of police or his designee. (Ord. 1998-35, 9-2-1998, eff. 9-2-1998)

**14-5-060.1: PARKING OF LARGE VEHICLES:**

No person shall park any ~~commercial~~ truck, trailer, tractor or other vehicle having a total gross weight, loaded or unloaded, in excess of twelve thousand (12,000) pounds, or having a total length in excess of twenty four feet (24'), within any single-family or multiple-family residential zone, as defined herein and designated on the city zoning map, or on any important local or local street, as defined in the city general plan, within the jurisdiction of the city, except when making actual deliveries or doing work at the site where parked. (Ord. 2000-42, 10-18-2000)

Supplemental Information

1. Enabling Ordinance
2. Exhibit "A" to the Enabling Ordinance

Applicable Ordinances

1. Title 14, Chapter 5 – Stopping, Standing, and Parking

Respectfully Submitted



Eric Anderson  
City Planner

Review and Concur



Dave Millheim  
City Manager

**ORDINANCE NO. 2017-**

**AN ORDINANCE ENACTING AND AMENDING TITLE 14 OF THE  
FARMINGTON MUNICIPAL CODE RE: PARKING REQUIREMENTS**

**WHEREAS**, the City Council has reviewed the recommended changes to Title 14 of the Farmington Municipal Code and desires to adopt the recommended revisions, renumbering and updates as more particularly set forth herein; and

**WHEREAS**, the City Council finds that the proposed revisions, renumbering and updates to Title 14 are in the best interest of the public to ensure that the City's ordinances are up to date, and promote the general welfare, health, and safety of the public; and

**WHEREAS**, large vehicles parked in on-street angled spaces reduce sight distance creating unsafe conditions for other parked vehicles exiting parking spaces, and for on-coming traffic.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF  
FARMINGTON CITY, STATE OF UTAH:**

**Section 1.**     **Amendment and Recodification.** Title 14 of the Farmington City Municipal Code regarding Parking Requirements is hereby amended, renumbered and recodified to read in its entirety as set forth in **Exhibit "A,"** attached hereto and incorporated herein by this reference.

**Section 2.**     **Repealer.** The amendment, renumbering and recodification of Title 14 of the Farmington Municipal Code shall be a repeal of all ordinances in conflict with the adopted and codified Ordinances, provided however, all ordinances in force prior to the adoption and codification shall continue in force after the adoption and codification for the purpose of all rights acquired, fines, penalties, forfeitures and liabilities incurred and actions therefor.

**Section 3.**     **Severability Clause.** If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all provisions, clauses and words of this Ordinance shall be severable. This Section shall become effective without codification.

**Section 4.**     **Effective Date.** This Ordinance shall become effective upon publication or posting, or twenty (20) days after adoption, whichever occurs first.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF FARMINGTON, STATE  
OF UTAH, ON THIS 19TH DAY OF SEPTEMBER, 2017.**

**FARMINGTON CITY**

By: \_\_\_\_\_  
Mayor H. James Talbot

**ATTEST:**

\_\_\_\_\_  
Holly Gadd, City Recorder

Voting by the City Council:

	<b>“AYE”</b>	<b>“NAY”</b>
Councilmember J. Bilton	_____	_____
Councilmember D. Anderson	_____	_____
Councilmember C. Ritz	_____	_____
Councilmember B. Mellor	_____	_____
Councilmember B. Anderson	_____	_____

## **EXHIBIT "A"**

### **TITLE 14 TRAFFIC CODE CHAPTER 5 STOPPING, STANDING AND PARKING**

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#### **14-5-050.1: PARKING IN CITY PARKS:**

Parking areas in city parks are intended for use by persons using the city park facilities. No person shall park a vehicle, boat, trailer, semitruck or trailer, or other conveyance, within city park parking areas for private storage purposes, or for any other purpose inconsistent with city park use, such as parking for car pools, park and rides or overflow residential parking, except by special use permit issued by the chief of police or his designee. (Ord. 2004-75, 12-8-2004)

#### **14-5-050.2: PARKING IN ANGLED SPACES ON STREET:**

No person shall park a vehicle, boat, trailer, semi-truck and/or trailer, recreational vehicle, or other conveyance in angled parking spaces on a public street in excess of seven (7) feet in height and twenty-one (21) feet in length.

#### **14-5-060: PARKING IN CITY CEMETERY:**

Cemetery parking areas are intended for use by persons attending services within the cemetery or visiting gravesites, or for any other legitimate cemetery patron or maintenance use. No person shall park a vehicle, boat, trailer or other conveyance within the boundaries of the Farmington City Cemetery for private storage purposes, including, but not limited to, semi-trucks and trailers, or for any other purpose inconsistent with cemetery use, such as parking for car pools, park and rides or overflow residential parking, except by special permit issued by the chief of police or his designee. (Ord. 1998-35, 9-2-1998, eff. 9-2-1998)

#### **14-5-060.1: PARKING OF LARGE VEHICLES:**

No person shall park any ~~commercial~~ truck, trailer, tractor or other vehicle having a total gross weight, loaded or unloaded, in excess of twelve thousand (12,000) pounds, or having a total length in excess of twenty four feet (24'), within any single-family or multiple-family residential zone, as defined herein and designated on the city zoning map, or on any important local or local street, as defined in the city general plan, within the jurisdiction of the city, except when making actual deliveries or doing work at the site where parked. (Ord. 2000-42, 10-18-2000)





# FARMINGTON CITY

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CORY RITZ  
CITY COUNCIL

DAVE MILLHEIM  
CITY MANAGER

## City Council Staff Report

To: Honorable Mayor and City Council

From: Eric Anderson, City Planner

Date: September 19, 2017

SUBJECT: **Building Ordinance Amendment to Section 10-3-020**  
Applicant: **Farmington City**

### RECOMMENDATION

Move that the City Council approve the enclosed enabling ordinance amending Section 10-3-020 of the Zoning Ordinance.

#### Findings:

1. The proposed amendment to the Building Regulations Ordinance is minimal, but puts the City in a more defensible position if a developer were to ever submit an incomplete application for review.
2. The proposed amendment to the ordinance was recommended by the League of City's and Towns.

### BACKGROUND

Recently, it was brought to staff's attention that the current Building Regulations Ordinance does not specify that a building permit application does not have to be complete, meaning that an applicant could have an incomplete application processed for building permit. The proposed amendment would amend the Building Regulations Ordinance (Title 10) as follows:

#### **10-3-020: APPLICATION FOR PERMIT:**

To obtain a permit, the applicant shall file a **complete** application on a form furnished by the city for the purpose. Each permit application shall include supporting construction documents, site plans, specifications, plans and data required by the construction codes and applicable city ordinances, rules and regulations (hereinafter "construction documents") and in accordance with applicable provisions of section 106 (construction documents) of the international building code. All permit applications shall be filed with the community development director and shall comply with the standardized building permit forms approved by the state of Utah, in accordance with Utah Code Annotated section 15A-1-209, as amended. Pursuant to Utah Code Annotated section 15A-1-209, as amended, single-family residential building permit applications shall also include in the application, or attached to the building permit the

following notice prominently placed in at least 14-point font: "Decisions Relative To This Application Are Subject To Review By The Chief Executive Officer Of The Municipal Entity Issuing The Single-Family Residential Building Permit, Or His Or Her Designee, And Appeal Under The International Residential Code". The building official or community development director may require additional construction drawings, data, studies and reports, such as, but not limited to, soils studies or geotechnical hazards studies, when deemed necessary. (Ord. 2009-19, 5-5-2009; amd. 2016 Code)

Supplemental Information

1. Enabling Ordinance
2. Exhibit "A" to the Enabling Ordinance

Applicable Ordinances

1. Title 10, Chapter 3 – Mixed Use Districts

Respectfully Submitted



Eric Anderson  
City Planner

Review and Concur



Dave Millheim  
City Manager

**ORDINANCE NO. 2017-**

**AN ORDINANCE AMENDING TITLE 10 OF THE FARMINGTON  
MUNICIPAL CODE RE: BUILDING REGULATIONS**

**WHEREAS**, the City Council has reviewed the recommended changes to Title 10 of the Farmington Municipal Code and desires to adopt the recommended revision as more particularly set forth herein; and

**WHEREAS**, the City Council finds that the proposed revision to Title 10 is in the best interest of the public to ensure that the City's ordinances are up to date, and to promote the general welfare, health, and safety of the public.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF  
FARMINGTON CITY, STATE OF UTAH:**

**Section 1.**     **Amendment and Recodification.** Title 10 of the Farmington City Municipal Code regarding Building Regulations is hereby amended to read in its entirety as set forth in **Exhibit "A,"** attached hereto and incorporated herein by this reference.

**Section 2.**     **Repealer.** The amendment of Title 10 of the Farmington Municipal Code shall be a repeal of all ordinances in conflict with the adopted and codified Ordinances, provided however, all ordinances in force prior to the adoption and codification shall continue in force after the adoption and codification for the purpose of all rights acquired, fines, penalties, forfeitures and liabilities incurred and actions therefor.

**Section 3.**     **Severability Clause.** If any section, part or provision of this Ordinance is held invalid or unenforceable, such invalidity or unenforceability shall not affect any other portion of this Ordinance, and all provisions, clauses and words of this Ordinance shall be severable. This Section shall become effective without codification.

**Section 4.**     **Effective Date.** This Ordinance shall become effective upon publication or posting, or twenty (20) days after adoption, whichever occurs first.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF FARMINGTON, STATE OF UTAH, ON THIS 19TH DAY OF SEPTEMBER, 2017.**

**FARMINGTON CITY**

By: \_\_\_\_\_  
Mayor H. James Talbot

**ATTEST:**

\_\_\_\_\_  
Holly Gadd, City Recorder

Voting by the City Council:

	<b>“AYE”</b>	<b>“NAY”</b>
Councilmember J. Bilton	_____	_____
Councilmember D. Anderson	_____	_____
Councilmember C. Ritz	_____	_____
Councilmember B. Mellor	_____	_____
Councilmember B. Anderson	_____	_____

## EXHIBIT "A"

### TITLE 10 BUILDING REGULATIONS CHAPTER 3 PERMITS

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#### 10-3-020: APPLICATION FOR PERMIT:

To obtain a permit, the applicant shall file a complete application on a form furnished by the city for the purpose. Each permit application shall include supporting construction documents, site plans, specifications, plans and data required by the construction codes and applicable city ordinances, rules and regulations (hereinafter "construction documents") and in accordance with applicable provisions of section 106 (construction documents) of the international building code. All permit applications shall be filed with the community development director and shall comply with the standardized building permit forms approved by the state of Utah, in accordance with Utah Code Annotated section 15A-1-209, as amended. Pursuant to Utah Code Annotated section 15A-1-209, as amended, single-family residential building permit applications shall also include in the application, or attached to the building permit the following notice prominently placed in at least 14-point font: "Decisions Relative To This Application Are Subject To Review By The Chief Executive Officer Of The Municipal Entity Issuing The Single-Family Residential Building Permit, Or His Or Her Designee, And Appeal Under The International Residential Code". The building official or community development director may require additional construction drawings, data, studies and reports, such as, but not limited to, soils studies or geotechnical hazards studies, when deemed necessary. (Ord. 2009-19, 5-5-2009; amd. 2016 Code)

## CITY COUNCIL AGENDA

For Council Meeting:  
September 19, 2017

**S U B J E C T: City Manager Report**

NOTE: Appointments must be scheduled 14 days prior to Council Meetings; discussion items should be submitted 7 days prior to Council meeting.

## CITY COUNCIL AGENDA

For Council Meeting:  
September 19, 2017

**SUBJECT: Mayor Talbot & City Council Reports**

NOTE: Appointments must be scheduled 14 days prior to Council Meetings; discussion items should be submitted 7 days prior to Council meeting.